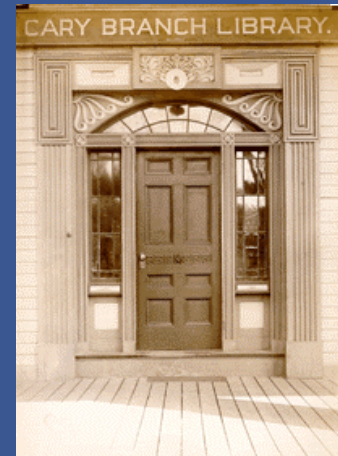


THE STONE BUILDING FEASIBILITY STUDY

PREPARED FOR THE TOWN OF LEXINGTON LIBRARY TRUSTEES

MAY 20TH | 2008



THE STONE BUILDING

In 1833, Eli Robbins hired architect and master builder Isaac Melvin of Concord to design a meeting hall where freedom of speech could be allowed. The first floor was used as a residence, the second floor as the lecture hall.



- ❑ Sold to the town in 1892 for \$2,000 by Miss Ellen Stone, granddaughter of Eli Robbins.
- ❑ Will specified uses for building: branch library, public reading room, public art museum, place for classes, public lectures or other purposes consistent with library mission.
- ❑ Used as a branch library since 1893.
- ❑ On National Register Historic Places and located in the East Lexington Historic District.

GREEK REVIVAL STYLE

- ❑ Greek Revival style includes:
 - ❑ Portico with doric columns
 - ❑ Gabled roof with broad pediment
 - ❑ Cornice line of main roof with wide band of trim
 - ❑ Front door with sidelites and transom
 - ❑ Large windows with 6-pane sashes

- ❑ Photos suggests that the building included an 'ell' on rear portion to serve as 'service' area for residence

- ❑ Latest version of addition, 'ell' removed in 1946 during last major renovation

- ❑ Essential details remain despite multiple uses and renovations

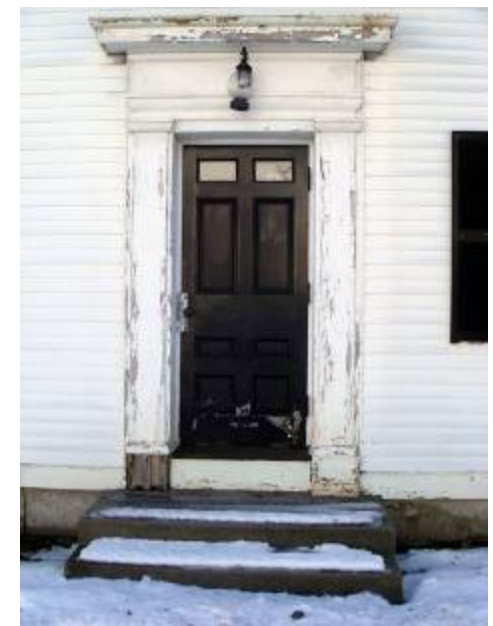
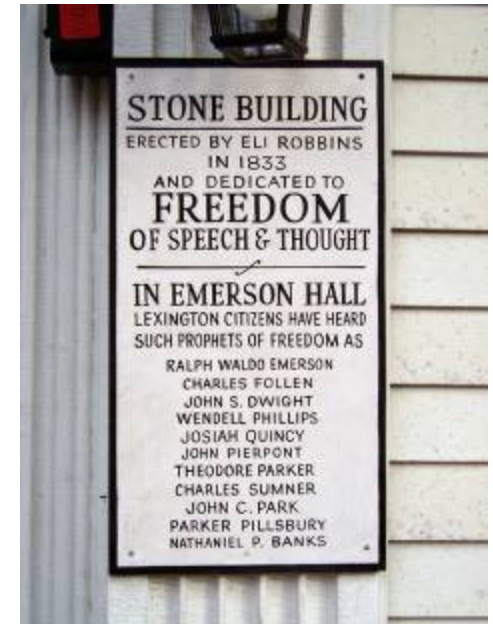


SCOPE OF WORK

- ❑ Scope includes:
 - ❑ Architectural existing conditions analysis
 - ❑ Identification of significant and character-defining features
 - ❑ Structural assessment
 - ❑ MEP systems evaluation
 - ❑ Asbestos abatement
 - ❑ Code compliance options to meet life safety + zoning requirements
 - ❑ LEED EB metric

OUTCOME

- ❑ Develop plan options for reuse of building
- ❑ Design for historical renovation in accordance with the Secretary of the Interior Standards
 - ❑ Minimal change
 - ❑ Avoid unnecessary alterations to features or spatial relationships
 - ❑ Repair deteriorated features rather than replace
 - ❑ New work should be differentiated from the old but compatible
- ❑ Create stabilization plan
- ❑ Provide options with estimates of project costs.



HISTORICAL IMAGES



CURRENT IMAGES



CHARACTER



Fireplace Detail



Greek Revival
detailing



Benjamin Asher-inspired detailing

MECHANICAL/BASEMENT



Leaking due to grading issues



Basement flooding



Exterior mechanical equipment

BUILDING DISREPAIR



Ceiling damage
due to flood

Attic window damage



Garden door
trim



Garden
door base



BUILDING DISREPAIR



Rotting trim



Clapboard

Gutter leader



Trim

CODE ISSUES

Main door access



Inaccessible bathrooms

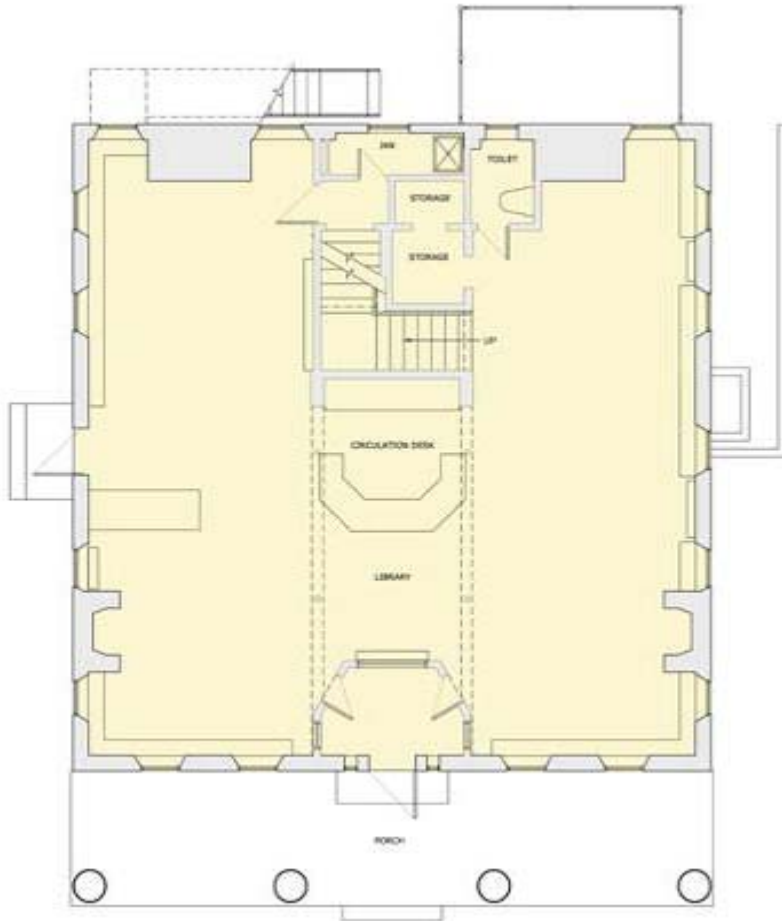


Side door access

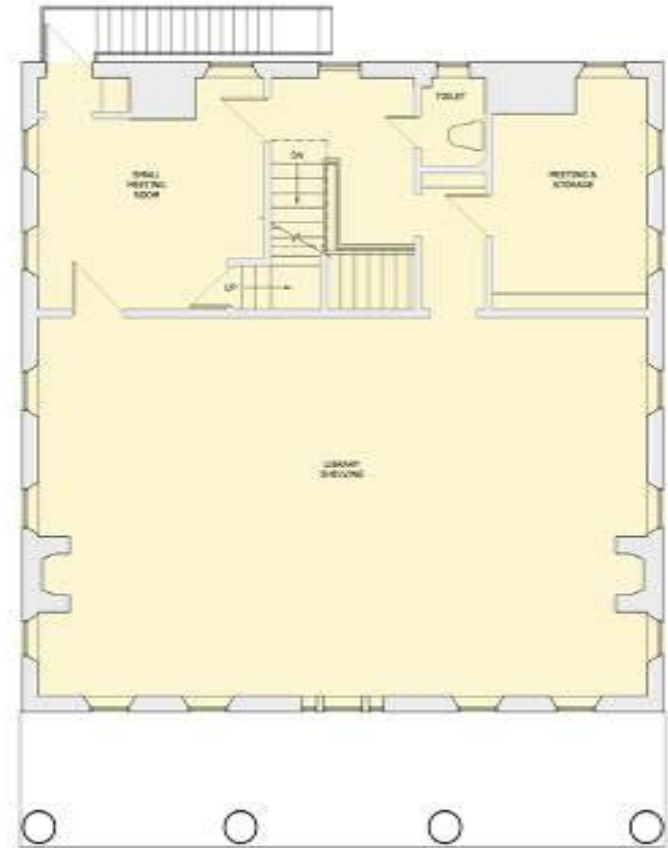


Current fire escape

EXISTING CONDITIONS



First Floor Plan

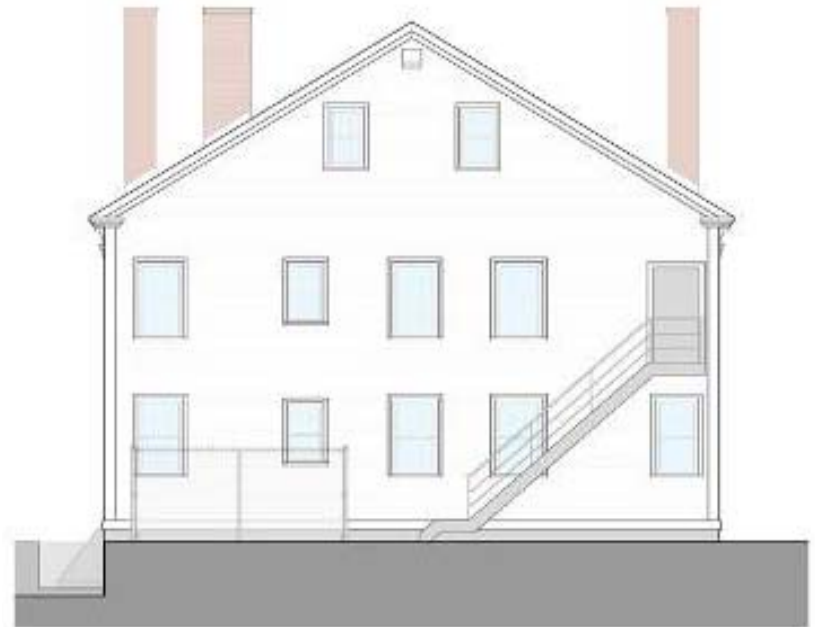


Second Floor Plan

EXISTING CONDITIONS



South Elevation



North Elevation



EXISTING CONDITIONS



East Elevation





EXISTING CONDITIONS



West Elevation



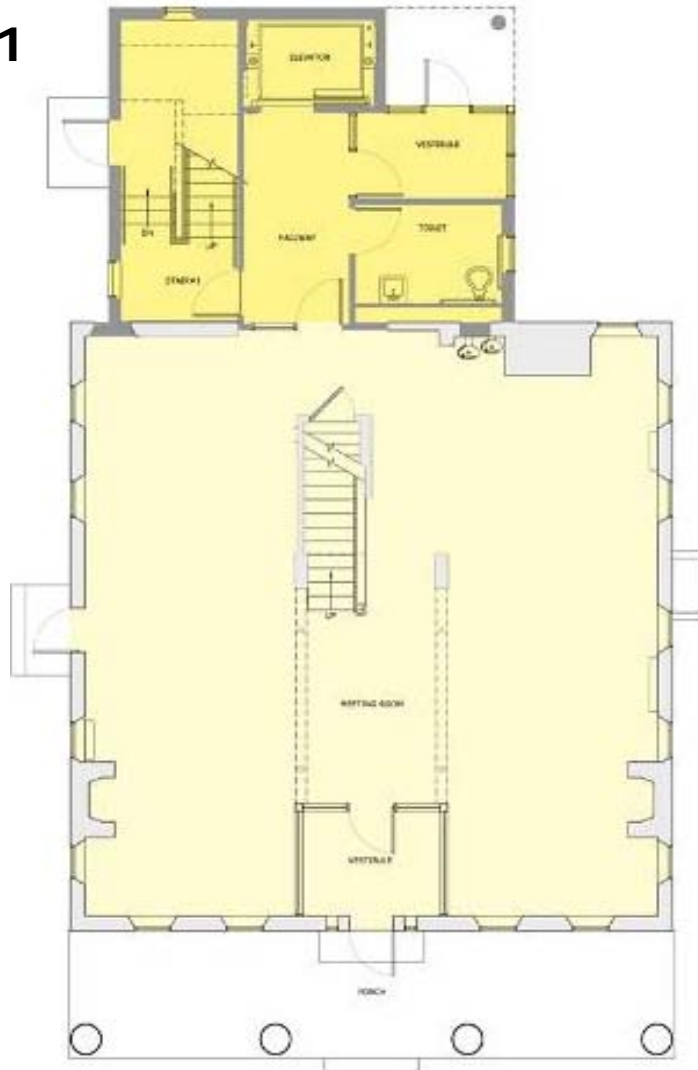
BUILDING OVERVIEW

- ❑ Existing foundation in good shape; patching and repair to follow outside re-grading
- ❑ Doric columns and trim at pediment, trim at windows and main doorway with side-lites in good shape – some repair required
- ❑ Interior stair to be restored to original configuration; fireplaces to remain and all existing doors and trim to be repaired and reused
- ❑ Original and early replacement windows and sash to remain
- ❑ Existing second level wood flooring to remain

BUILDING OVERVIEW

- ❑ Remove aluminum siding + restore/replace clapboards
- ❑ Restore/replace wood trim
- ❑ Replace broken glazing; repair sash; reuse storm windows or replace with wood storms
- ❑ Replace mechanical, plumbing + electrical systems; install fire protection
- ❑ Reinforce structure to meet assembly use code requirements; repair other miscellaneous structural elements
- ❑ Provide accessible entry, toilet rooms, drinking fountains + second floor
- ❑ Patch + repair walls, ceilings, trim, doors, fireplaces and miscellaneous details

OPTION 1



First Floor Plan

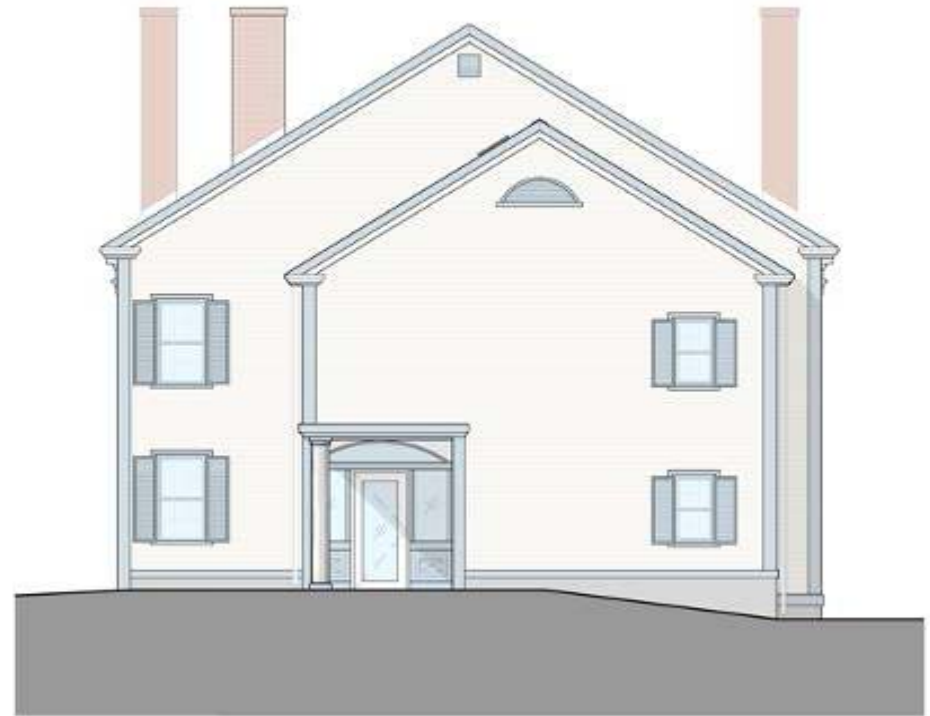


Second Floor Plan

OPTION 1



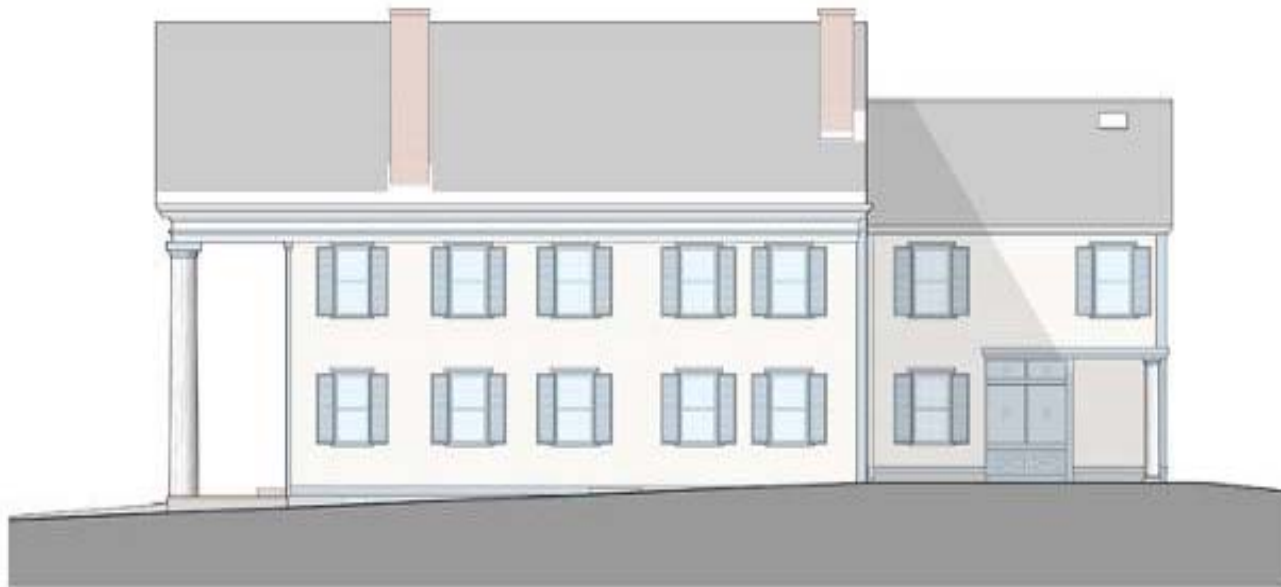
South Elevation



North Elevation



OPTION 1



East Elevation

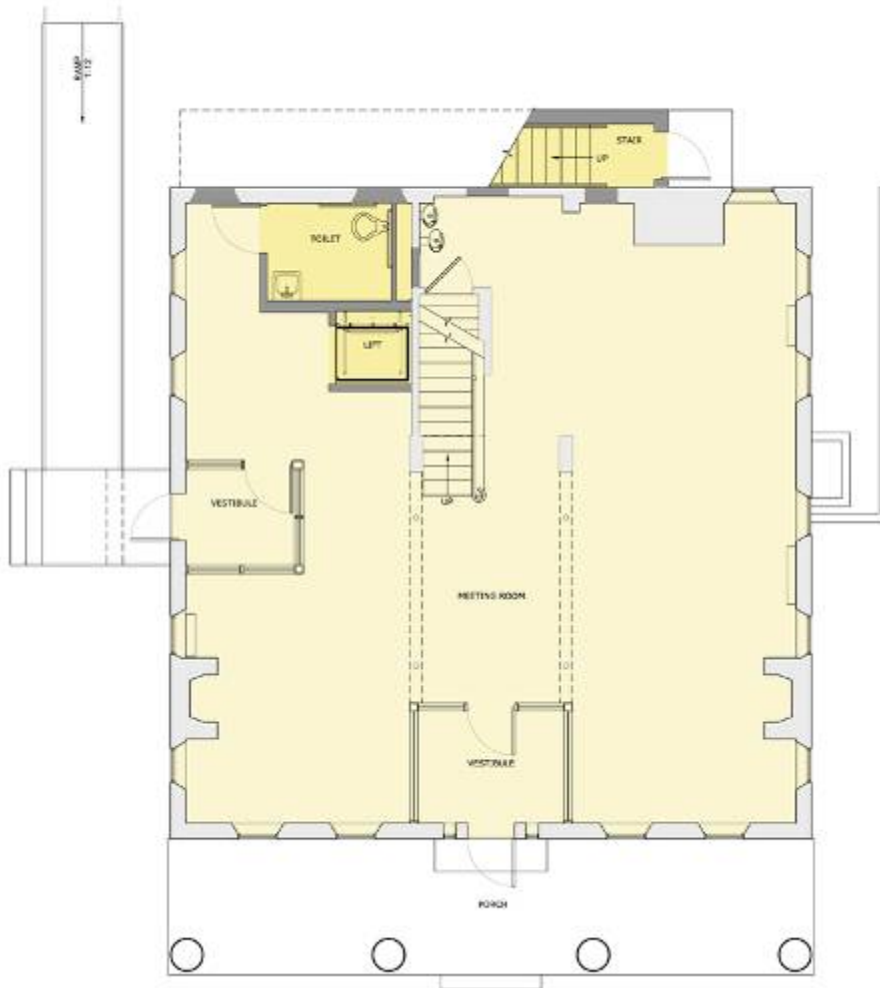


OPTION 1



West Elevation

OPTION 2



First Floor Plan

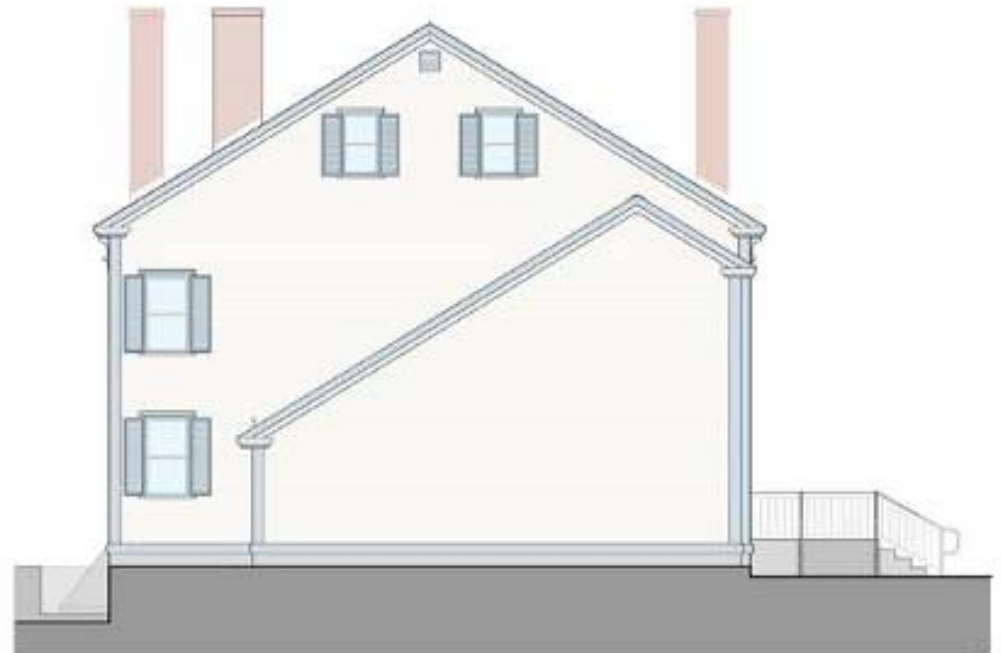


Second Floor Plan

OPTION 2

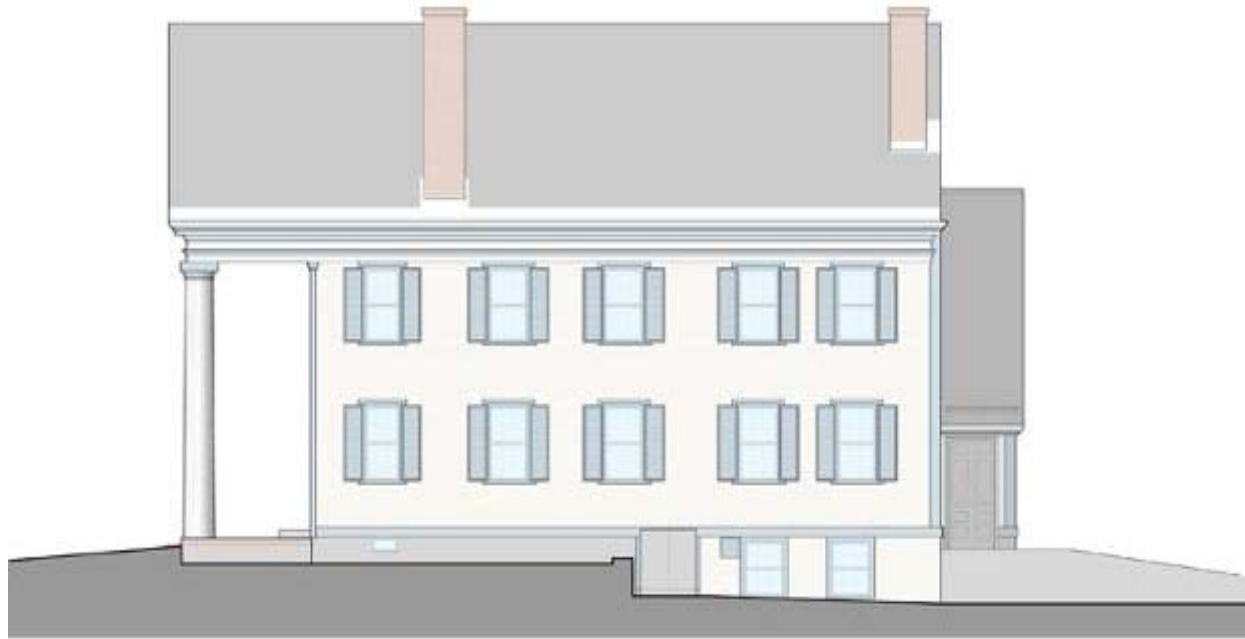


South Elevation



North Elevation

OPTION 2



East Elevation

OPTION 2



West Elevation

USEABLE SPACE

Square Feet	Existing		Option #1		Option #2	
Gross	1 st Floor	1,617	1 st Floor	2,126	1 st Floor	1,764
	2 nd Floor	1,617	2 nd Floor	2,182	2 nd Floor	1,764
	Total:	3,234	Total:	4,308	Total:	3,528
Net (Useable Space)	1 st Floor	1,194	1 st Floor	1,308	1 st Floor	1,025
	2 nd Floor	1,184	2 nd Floor	1,265	2 nd Floor	1,050
	Large Meeting	883	Large Meeting	883	Large Meeting	883
	Small Meeting (space with doors to attic and egress stairs)	172	Open Lounge (space with doors to attic and egress stairs)	199	Small Meeting	167
	Meeting/Storage	129	Small Meeting	183		
	Total:	2,378	Total:	2,573	Total:	2,075

PROJECT COSTS 2010

	OPTION 1	OPTION 2
General Requirements	\$99,000	\$65,000
Architectural Renovations	\$572,000	\$452,000
Code Related Items	\$240,000	\$102,000
MEPFP	\$153,000	\$150,000
<hr/>		
Subtotal Building + Site	\$1,064,000	\$769,000
General Conditions Overhead + Profit	\$234,000	\$170,000
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Subtotal before Contingencies	\$1,298,000	\$939,000
Design + Construction Contingencies + Escalation	\$771,000	\$557,000
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Total Construction Costs	\$2,069,000	\$1,496,000
Soft Costs	\$439,000	\$350,000
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Project Costs	\$2,508,000	\$1,846,000

